

ADDENDUM NUMBER TWO 07/01/2018

PROJECT: NEWBERRY COUNTY DETENTION CENTER RENOVATIONS
Project #3606.1701
3239 Louis Rich Rd
Newberry, SC 29108

FROM: Johnson, Laschober & Associates, P.C.
1296 Broad Street
Augusta, GA 30903
(706) 724-5756

To: All Bidders

The following clarifications, amendments, additions, revisions, changes and/or modifications shall take precedence over the plans and specifications for the above-named project and shall become part of the Contract Documents. Where any item called for in the specifications or indicated on the drawings is not supplemented hereby, the original requirements shall remain in effect. Where any original item is amended, voided or superseded hereby, the provision of such item not specifically amended, voided or superseded shall remain in effect. Failure to acknowledge this addendum in the Form of Bid will result in Bid being deemed non-responsive.

GENERAL INFORMATION:

1. The BID OPENING DATE AND TIME HAS BEEN CHANGED on this Project will be received until **JULY 12, 2018 at 2:00pm, at the Newberry Courthouse Annex Conference Room, 1309 College St, Newberry.**
2. See attachment for revised Bid Form.
3. See revised Cover Sheet G-001 for correct alternates for this project. There are only four (4) alternates for this project as reflected in Specification Section 012300 – Alternates.

END OF ADDENDUM NUMBER TWO

SECTION 011600 - CONTRACT MODIFICATION PROCEDURES

COUNTY OF NEWBERRY
Purchasing Office, 1309 College Street, Post Office Box 156, Newberry S.C. 29108
Ph: (803) 321-2100 / Fax: (803) 321-2102

BIDDERS SCHEDULE

BID NUMBER: 2018-16 **DATE: July 12, 2018**

OPENING DATE AND TIME: July 12, 2018 at 2:00pm

OPENING LOCATION: Newberry County Courthouse Annex, Conference Room
1309 College Street
Newberry, SC 29108

PROCUREMENT:

1.1 CERTIFICATIONS AND BASE BID

A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Front-end Specifications, and all subsequent Addenda, as prepared by Johnson Laschober & Associates (JLA) and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:

1. _____ Dollars (\$_____).

B. Refer to Specification Section 012300 – Alternates.

1. Add Alternate #1 – Public Works Restroom Dollars (\$_____).

2. Add Alternate #2 – Public Works HVAC Dollars (\$_____).

3. Add Alternate #3 – New Light Fixtures Dollars (\$_____).

4. Add Alternate #4 – Point-of- Use Water Heaters Dollars (\$_____).

1.2 ACKNOWLEDGEMENT OF ADDENDA

A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:

1. Addendum No. 1, dated _____.
2. Addendum No. 2, dated _____.
3. Addendum No. 3, dated _____.
4. Addendum No. 4, dated _____.

1.3 BID GUARANTEE - Bids shall be good for sixty (60) days from the date of submittal

A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within [10] days after a written Notice of Award, if offered within [60] days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid amount above:

1. _____ Dollars (\$_____).

B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond (AIA Document A310).

1.4 SUBCONTRACTORS AND SUPPLIERS

A. The following companies shall execute subcontracts for the portions of the Work indicated:

1. Masonry Work: _____.
2. Roofing Work: _____.
3. Plumbing Work: _____.
4. Electrical Work: _____.

1.5 TIME OF COMPLETION

A. The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by Architect, and shall fully complete the Work within seven months [213] calendar days.

1.6 BID SUPPLEMENTS

- A. The following supplements are a part of this Bid and are included in this document.
1. Bid Form Supplement - Alternates.
 2. Bid Form Supplement - Allowances.
 3. Bid Form Supplement - Bid Bond Form (AIA Document A310) or Cashier's check.

1.7 SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1: _____
Removal of unsatisfactory soil and replacement with satisfactory soil material, per cubic yard.
- B. Unit Price No. 2: _____
Cutting and patching of 6" thick concrete Pavement with wire mesh per square foot.
- C. Unit Price No. 3: _____
Installation of 4" thick concrete sidewalk on grade 4'-0" wide per linear foot.
- D. Unit Price No. 4: _____
Installation of silt fencing per linear foot.
- E. Unit Price No. 5: _____
Wet Roof Insulation replacement outside of areas identified on drawings. This unit price to include cut back removal and reinstallation of base insulation. Provide a cost per square foot for removal and replacement.
- F. Unit Price No. 6: _____
Scissor Lift To 25' Rental per week
- G. Unit Price No. 7: _____
Removal and reinstallation of security fencing, beyond the limits identified on the drawings. Provide a cost per linear foot.
- H. Unit Price No. 8: _____
Miscellaneous and structural steel.

1.8 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Newberry, South Carolina, and that all fees, permits, etc., pursuant to submitting this proposal have/will been/be paid in full.

1.9 SUBMISSION OF BID

- A. Respectfully submitted this 12th day of July, 2018.

CONTRACTOR: _____ **SIGNATURE:** _____

Name of Authorized Contact: _____

Email Address: _____

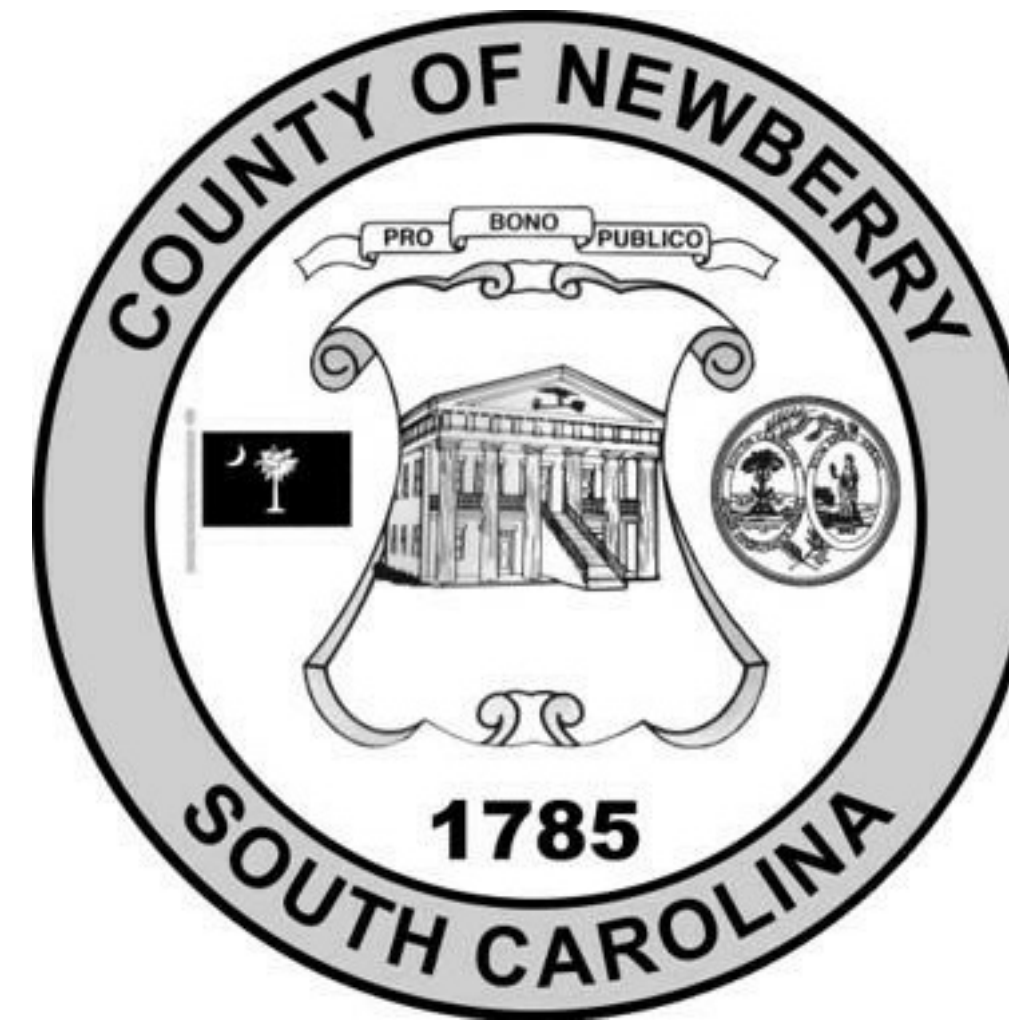
Address: _____

Phone & Fax: _____

FEIN: _____

Contractor's SC License #: _____

NEWBERRY COUNTY NEWBERRY, SOUTH CAROLINA



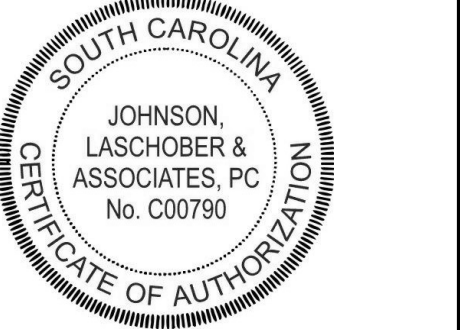
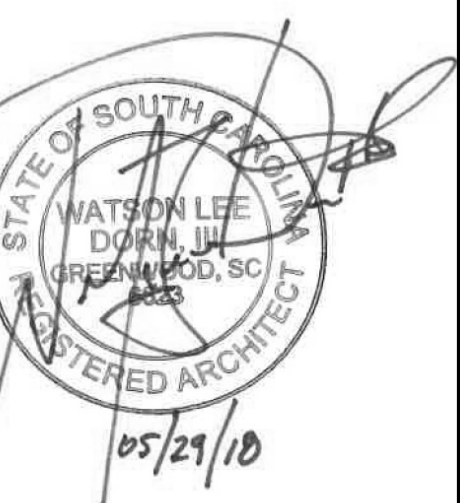
NEWBERRY COUNTY DETENTION CENTER RENOVATIONS

3239 LOUIS RICH ROAD, NEWBERRY, SC 29108



Architects • Engineers • Landscape Architects
JOHNSON, LASCHOBER &
ASSOCIATES, P.C.
AUGUSTA, GA • MT PLEASANT, SC
TEL (706) 724-5756 • TEL (843) 619-4656
FAX (706) 724-3955
WWW.THEJLAGROUP.COM

CLIENT: NEWBERRY COUNTY
NEWBERRY, SOUTH CAROLINA
PROJECT NAME: NEWBERRY COUNTY DETENTION CENTER RENOVATIONS
PROJECT LOCATION: 3239 LOUIS RICH ROAD, NEWBERRY, SC 29108



GENERAL NOTES

THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS SHALL BE REQUIRED TO VISIT THE PREMISES TO INSPECT EXISTING CONDITIONS, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE DRAWINGS.

ALL WORK PERFORMED SHALL BE IN STRICT COMPLIANCE WITH COUNTY REGULATIONS AND CODES, O.S.H.A. STANDARDS, THE CODE STANDARDS LISTED, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS, AND CONFORM TO SPECIFIC REGULATIONS AS MANDATED BY THE OWNER AND THE ARCHITECT.

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THE PROCUREMENT OF ALL REQUIRED AND NECESSARY PERMITS. ALL CONTRACTORS SHALL OBTAIN NECESSARY AND APPLICABLE, CITY/COUNTY PERMITS, INSPECTIONS AND APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK AND CERTIFICATE OF OCCUPANCY UPON COMPLETION OF PROJECT. CONTRACTOR SHALL FURNISH COPIES OF PERMITS, INSPECTIONS AND CERTIFICATES TO OWNER UPON REQUEST.

CONTRACTOR SHALL BE REQUIRED TO COORDINATE WORK SCHEDULE TO MINIMIZE DISRUPTION OF NORMAL ACTIVITIES AND TO AVOID INTERFERENCE WITH ADJACENT OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT SURROUNDINGS, MATERIALS AND EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION AREAS AND OCCUPIED OR PUBLIC AREAS TO BE MAINTAINED BY CONTRACTOR. DAMAGE TO EXISTING-TO-REMAIN CONSTRUCTION, MATERIALS OR EQUIPMENT TO BE RESTORED TO ORIGINAL CONDITION.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TRASH AND DEBRIS FROM JOB SITE ON A DAILY BASIS. FINAL CLEAN-UP WITHIN SCOPE OF WORK.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL RELATED TRADES AND VENDORS NECESSARY TO THE COMPLETION OF THE JOB ON A TIMELY BASIS.

DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION

ALL WORK SHALL BE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION OF NATIONAL ELECTRIC CODE, INTERNATIONAL PLUMBING, AND MECHANICAL CODE, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURERS RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.

THE DESIGN PROFESSIONAL DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT IN ANY RESPECT OTHER THAN THAT OUR PROFESSIONAL WORK AND JUDGEMENT RENDERED MEET THE STANDARDS OF CARE OF OUR PROFESSION.

THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND ACTUAL LOCATION OF SUCH, WHETHER SHOWN HEREON OR NOT, PRIOR TO ANY EXCAVATION ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

THE FLOOR ON BOTH SIDES OF A DOOR SHALL BE LEVEL AND SHALL HAVE THE SAME ELEVATION ON BOTH SIDES OF THE DOOR, FOR A DISTANCE ON EACH SIDE EQUAL TO THE WIDTH OF THE WIDEST SINGLE DOOR.

FIRE EXTINGUISHERS SHALL BE LOCATED PER THE REQUIREMENTS OF NFPA 10. THE SIZE SHALL BE A MINIMUM OF 2 A 10 BC 1 AND SHALL BE INSTALLED AT A MAXIMUM OF 48" A.F.F. TO THE TOP OF THE HANDLE.

PROVIDE CONT. SOLID BLOCKING, AS REQUIRED, IN WALLS TO RECEIVE ACCESSORY ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
HANDRAILS
TOILET ROOM ACCESSORIES
GRAB BARS
FIRE EXTINGUISHER CABINETS & BRACKETS
CABINETS AND SHELVES

CLEAN WALLS, DOORS, DOOR FRAMES, HANDRAILS, GUARDRAILS, ETC. PER MANUFACTURERS RECOMMENDATIONS PRIOR TO SEALING AND PAINTING.

REFER TO THE STRUCTURAL DRAWINGS FOR INFORMATION ON CONSTRUCTION AND CONTROL JOINTS IN CONCRETE SLABS AND CONCRETE AND MASONRY WALLS. SLAB JOINTS ARE SPECIFIED AND LOCATED ON THE STRUCTURAL DRAWINGS.

TEMPORARY SIGNS: PROVIDE OTHER SIGNS AS REQUIRED TO INFORM PUBLIC AND INDIVIDUALS SEEKING ENTRANCE TO PROJECT. PROVIDE TEMPORARY, DIRECTIONAL SIGNS FOR CONSTRUCTION PERSONNEL AND VISITORS. MAINTAIN AND TOUCHUP SIGNS SO THEY ARE LEGIBLE AT ALL TIMES.

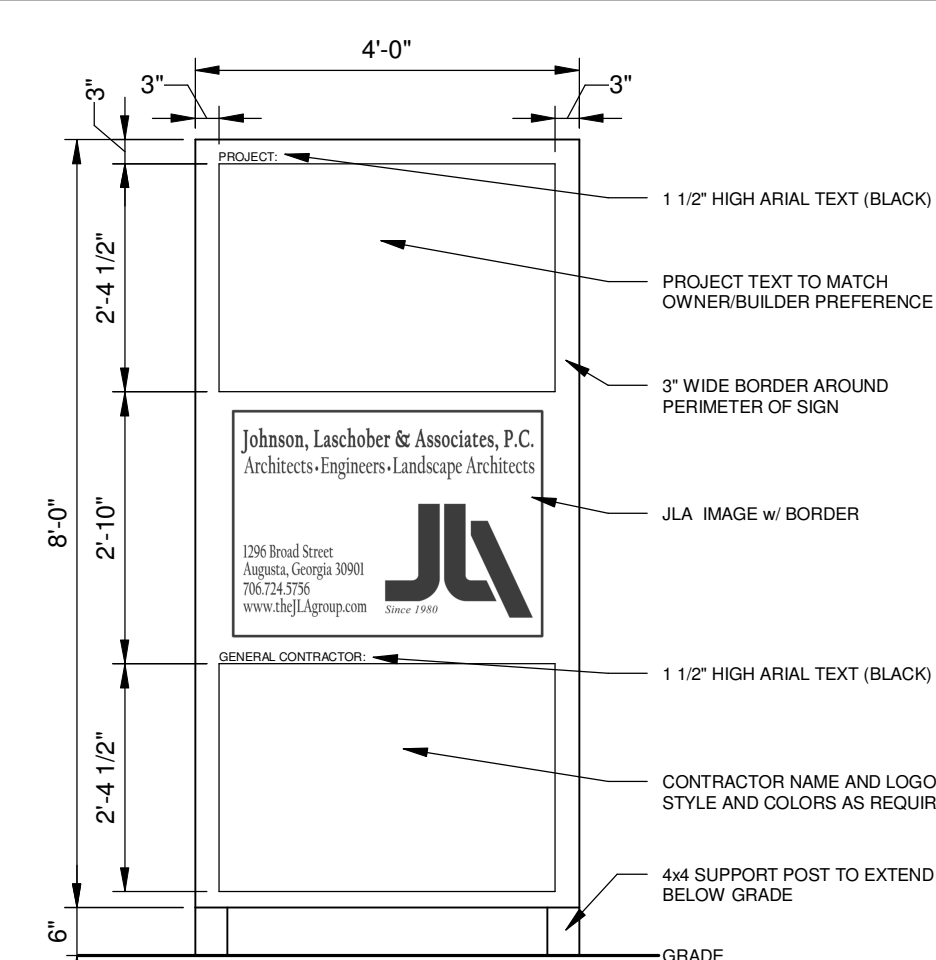
PROJECT LOCATION MAP



INDEX OF DRAWINGS

G-001	COVER SHEET
CIVIL	
C-101	SITE PLAN
C-102	STAGING PLAN
ARCHITECTURAL	
A-001	ASBESTOS REMOVAL PLAN
A-002	DEMOLITION PLAN - DETENTION CENTER
A-003	DEMOLITION PLAN - PUBLIC WORKS
A-100	PROPOSED PLAN - DETENTION CENTER
A-101	PROPOSED PLAN - PUBLIC WORKS
A-102	ENLARGED PLANS, TOILETS & TOILET ACCESSORIES
A-201	PROPOSED REFLECTED CEILING PLAN
A-300	DEMOLITION PLAN- ROOF INSULATION
A-301	PROPOSED ROOF PLAN
A-302	CARLISLE TAPERED INSULATION PLAN
A-401	EXTERIOR ELEVATIONS
A-402	EXTERIOR ELEVATIONS
A-403	EXTERIOR ELEVATIONS
A-404	EXTERIOR ELEVATIONS
A-601	WALL SECTIONS, DOOR & ROOM FINISH SCHEDULES
A-602	FINISH PLAN, SCHEDULE, AND SPECIFICATIONS
STRUCTURAL	
S-001	GENERAL NOTES AND SPECIAL INSPECTIONS
S-101	FOUNDATION AND SLAB PLAN, FRAMING PLAN, SECTIONS AND DETAILS
FIRE PROTECTION	
F-001	FIRE PLAN GENERAL NOTES AND LEGEND
F-101	FIRE PROTECTION PLAN - DETENTION CENTER
PLUMBING	
P-001	PLUMBING GENERAL NOTES AND LEGEND
P-101	PLUMBING DEMOLITION PLAN - DETENTION CENTER
P-201	PLUMBING PLAN - DETENTION CENTER
P-202	PLUMBING PLAN - PUBLIC WORKS
P-203	PLUMBING ROOF PLAN- DETENTION CENTER
P-301	PLUMBING SCHEDULES AND DETAILS
MECHANICAL	
M-001	HVAC GENERAL NOTES AND LEGEND
M-101	HVAC PLAN- PUBLIC WORKS
ELECTRICAL	
E-001	ELECTRICAL GENERAL NOTES
E-101	ELECTRICAL PLAN
E-102	ELECTRICAL PLAN - PUBLIC WORKS

JOBSITE SIGN



PROJECT TEAM

OWNER NEWBERRY COUNTY CPST CRYSTAL WALDROP, PURCHASING DIRECTOR P.O. BOX 156 NEWBERRY, SC 29108 PHONE: 803-321-2100 EMAIL: cwaldrop@newberrycounty.net	STRUCTURAL ENGINEER JOHNSON, LASCHOBER AND ASSOCIATES, P.C. NATHAN COCKFIELD, P.E. 1296 BROAD STREET AUGUSTA, GEORGIA 30901 PHONE: 706-724-5756 EMAIL: ncockfield@thejlagroup.com
OWNER'S REP/ 24 HOUR CONTACT CUMMING CORPORATION BARRY EVANS, VICE PRESIDENT 720 LADY STREET COLUMBIA, SOUTH CAROLINA 29201 PHONE: 706-903-7266-8569 EMAIL: bevans@ccorpusa.com	MECHANICAL ENGINEER JOHNSON, LASCHOBER AND ASSOCIATES, P.C. CURTIS WILLIAMSON, P.E. 1296 BROAD STREET AUGUSTA, GEORGIA 30901 PHONE: 706-724-5756 EMAIL: cwilliamson@thejlagroup.com
ARCHITECT JOHNSON, LASCHOBER AND ASSOCIATES, P.C. WATSON LEE DORN III, AIA, REGISTERED ARCHITECT 1296 BROAD STREET AUGUSTA, GEORGIA 30901 PHONE: 706-724-5756 EMAIL: wdorn@thejlagroup.com	FIRE PROTECTION ENGINEER JOHNSON, LASCHOBER AND ASSOCIATES, P.C. CURTIS WILLIAMSON, P.E. 1296 BROAD STREET AUGUSTA, GEORGIA 30901 PHONE: 706-724-5756 EMAIL: cwilliamson@thejlagroup.com
CIVIL ENGINEER JOHNSON, LASCHOBER AND ASSOCIATES, P.C. JUSTIN PURUCKER, P.E. 1296 BROAD STREET AUGUSTA, GEORGIA 30901 PHONE: 706-724-5756 EMAIL: jpurucker@thejlagroup.com	ELECTRICAL ENGINEER JOHNSON, LASCHOBER AND ASSOCIATES, P.C. FLOYD KEELS, P.E. 1296 BROAD STREET AUGUSTA, GEORGIA 30901 PHONE: 706-724-5756 EMAIL: fkeels@thejlagroup.com

GRAPHIC SYMBOLS

CENTERLINE	REVISION INDICATION
COLUMN GRID REFERENCE	AREA REVISED
DRAWING LOCATION ON SHEET GRID	TYPICAL DIMENSION INDICATOR
DRAWING NAME	DOOR NUMBER
SCALE: 1/8" = 1'-0"	FLOOR ELEVATION
DRAWING SCALE	ROOM NAME AND AREA
SHEET IDENTIFIER FOR LOCATION OF DETAIL	GLASS TYPE
DETAIL/PLAN KEY	WALL TYPE
DETAIL LOCATION ON SHEET GRID	ROOM NAME AND AREA
TERMINATION OF SECTION	150 SF
SHEET IDENTIFIER FOR LOCATION OF DETAIL	SECTION KEYS
ENLARGED DETAIL INDICATOR	DIRECTION OF SECTION
DETAIL LOCATION ON SHEET GRID	BUILDING SECTION LOCATION ON SHEET GRID
SHEET IDENTIFIER FOR LOCATION OF DETAIL	DIRECTION OF SECTION
BUILDING ELEVATION KEY	TERMINATION OF SECTION
ELEVATION LOCATION ON SHEET GRID	SHEET IDENTIFIER FOR LOCATION OF SECTION
SHEET IDENTIFIER FOR LOCATION OF ELEVATION	INTERIOR ELEVATION KEY
DIRECTION OF ELEVATION	ELEVATION LOCATION ON SHEET GRID
	SHEET IDENTIFIER FOR LOCATION OF ELEVATION
	DIRECTION OF ELEVATION

ALTERNATES TO BASE BID

- RENOVATE EXISTING GROUP RESTROOM IN PUBLIC WORKS BUILDING. PROVIDE TWO PORT-O-JONS AS EMERGENCY BACKUP.
- REMOVE FOUR (4) EXISTING HVAC SYSTEMS (EQUIPMENT ONLY) IN THE PUBLIC WORKS BUILDING, AND REPLACE WITH NEW. EQUIPMENT INCLUDES AN OUTDOOR CONDENSING UNITS, INDOOR GAS FURNACE, AND INDOOR COOLING COILS.
- REMOVE EXISTING LIGHT FIXTURES AND REPLACE w/ NEW LED FIXTURES IN NON-SECURE COMMON AREAS OF DETENTION CENTER, AS INDICATED ON DRAWING E-101.
- PROVIDE AND INSTALL THREE (3) POINT-OF-USE TANKLESS WATER HEATERS TO SERVE SECURITY SHOWERS LOCATED IN ROOMS 41, 52, 53, AND 54.

PROJECT NO. 3606.1701
DRAWN BY: CBW
CHECKED BY: WLD
DATE: 10/17/17
SHEET TITLE: COVER SHEET

SCALE AS NOTED

DRAWING NO. G-001

REV. 1

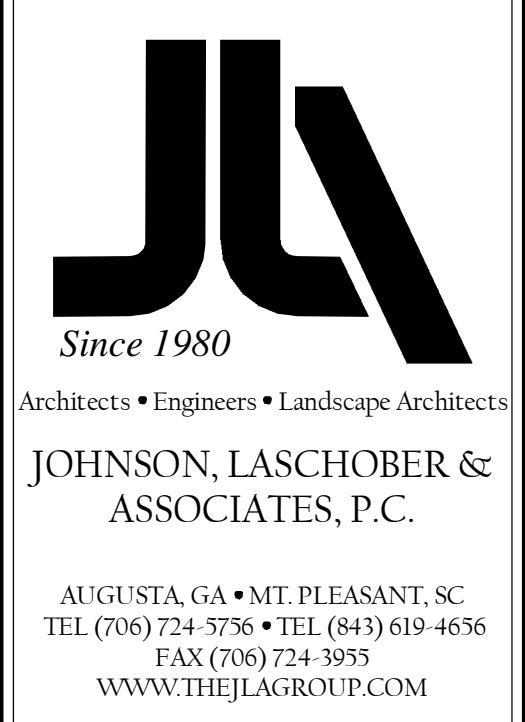
DATE: 10/17/17

SCALE AS NOTED

DRAWING NO. G-001

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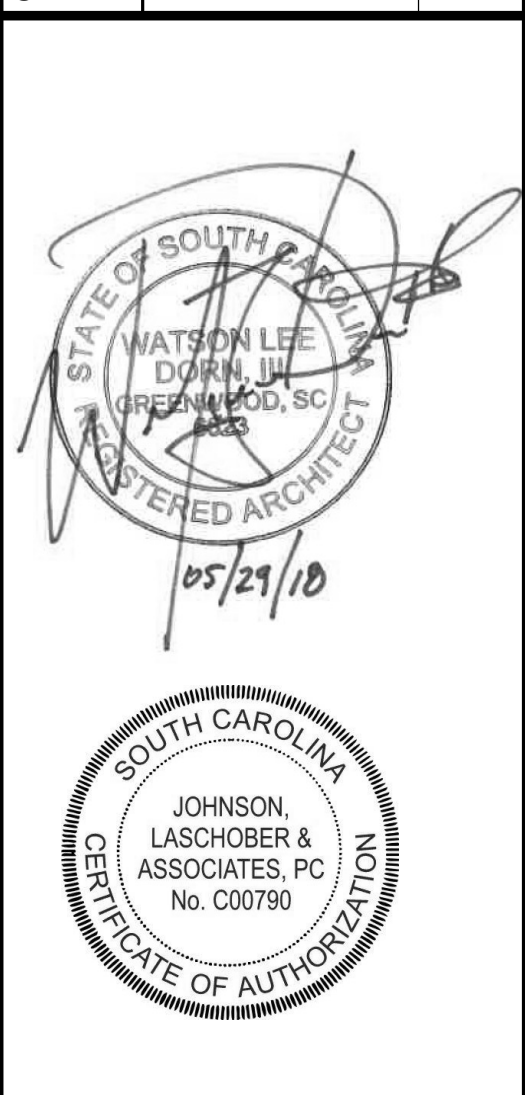
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JOHNSON, LASCHOB & ASSOCIATES, P.C.

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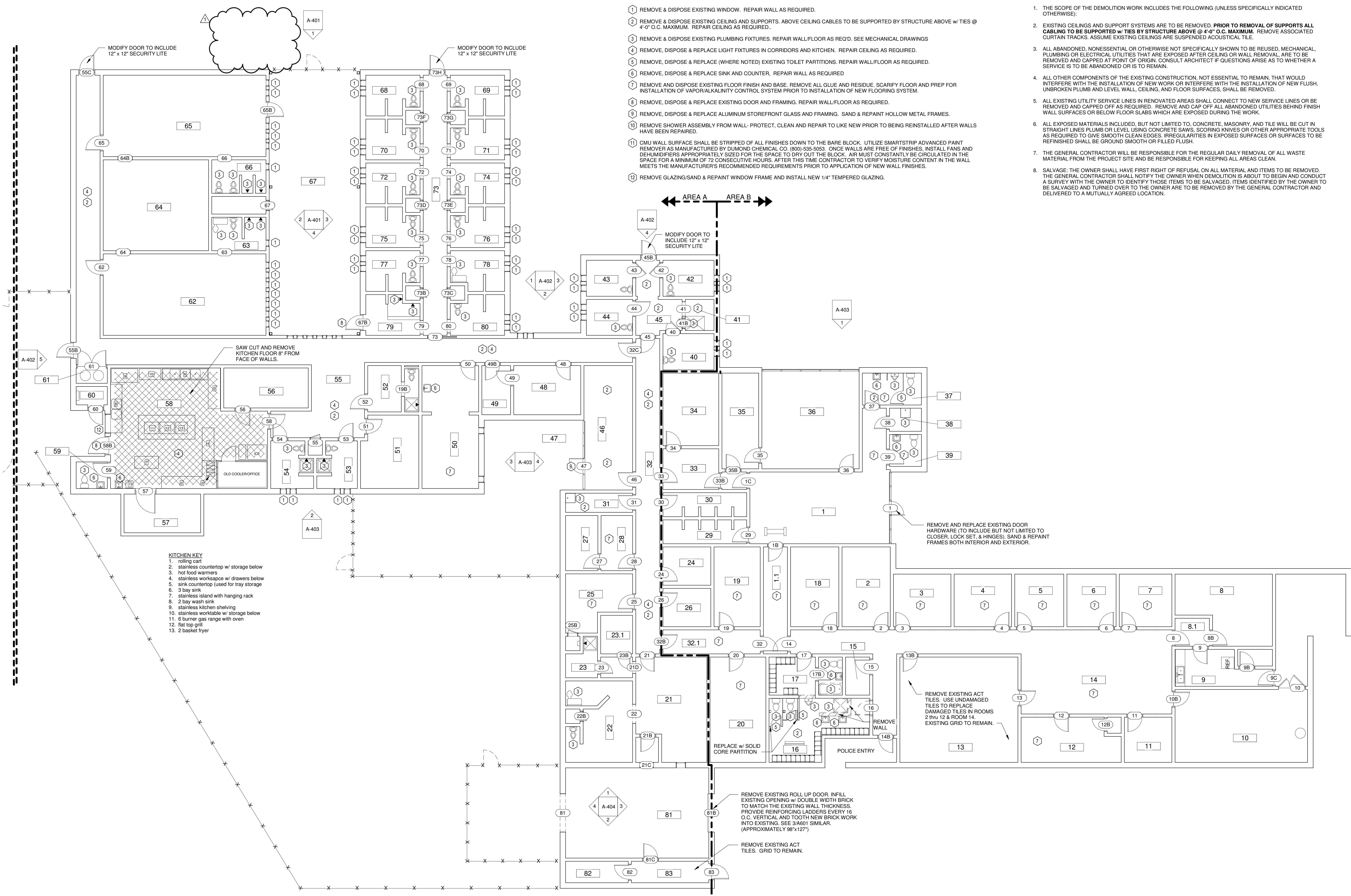
CLIENT: NEWBERRY COUNTY, NEWBERRY, SOUTH CAROLINA
PROJECT NAME: NEWBERRY COUNTY DETENTION CENTER RENOVATIONS
PROJECT LOCATION: 3239 LOUIS RICH ROAD, NEWBERRY, SC 29108



DEMOLITION NOTES

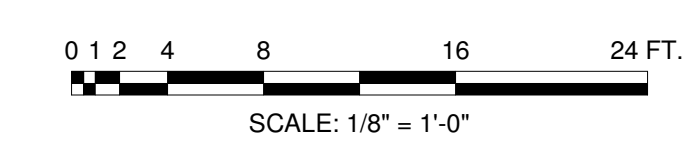
1. REMOVE & DISPOSE EXISTING WINDOW. REPAIR WALL AS REQUIRED.
2. REMOVE & DISPOSE EXISTING CEILING AND SUPPORTS. ABOVE CEILING CABLES TO BE SUPPORTED BY STRUCTURE ABOVE W/ TIES @ 4'-0" O.C. MAXIMUM. REPAIR CEILING AS REQUIRED.
3. REMOVE & DISPOSE EXISTING PLUMBING FIXTURES. REPAIR WALL/FLOOR AS REQ'D. SEE MECHANICAL DRAWINGS.
4. REMOVE, DISPOSE & REPLACE LIGHT FIXTURES IN CORRIDORS AND KITCHEN. REPAIR CEILING AS REQUIRED.
5. REMOVE, DISPOSE & REPLACE (WHERE NOTED) EXISTING TOILET PARTITIONS. REPAIR WALL/FLOOR AS REQUIRED.
6. REMOVE, DISPOSE & REPLACE SINK AND COUNTER, REPAIR WALL AS REQUIRED.
7. REMOVE AND DISPOSE EXISTING FLOOR FINISH AND BASE. REMOVE ALL GLUE AND RESIDUE. SCARIFY FLOOR AND PREP FOR INSTALLATION OF VAPOR/ALKALINITY CONTROL SYSTEM PRIOR TO INSTALLATION OF NEW FLOORING SYSTEM.
8. REMOVE, DISPOSE & REPLACE EXISTING DOOR AND FRAMING. REPAIR WALL/FLOOR AS REQUIRED.
9. REMOVE, DISPOSE & REPLACE ALUMINUM STOREFRONT GLASS AND FRAMING. SAND & REPAINT HOLLOW METAL FRAMES.
10. REMOVE SHOWER ASSEMBLY FROM WALL- PROTECT, CLEAN AND REPAIR TO LIKE NEW PRIOR TO BEING REINSTALLED AFTER WALLS HAVE BEEN REPAIRED.
11. CMU WALL SURFACE SHALL BE STRIPPED OF ALL FINISHES DOWN TO THE BARE BLOCK. UTILIZE SMARTSTRIP ADVANCED PAINT REMOVER AS MANUFACTURED BY DIMOND CHEMICAL CO. (800)-535-5053. ONCE WALLS ARE FREE OF FINISHES, INSTALL FANS AND DEHUMIDIFIERS APPROPRIATELY SIZED FOR THE SPACE TO DRY OUT THE BLOCK. AIR MUST CONSTANTLY BE CIRCULATED IN THE SPACE FOR A MINIMUM OF 72 CONSECUTIVE HOURS. AFTER THIS TIME CONTRACTOR TO VERIFY MOISTURE CONTENT IN THE WALL MEETS THE MANUFACTURER'S RECOMMENDED REQUIREMENTS PRIOR TO APPLICATION OF NEW WALL FINISHES.
12. REMOVE GLAZING/SAND & REPAINT WINDOW FRAME AND INSTALL NEW 1/4" TEMPERED GLAZING.

1. THE SCOPE OF THE DEMOLITION WORK INCLUDES THE FOLLOWING (UNLESS SPECIFICALLY INDICATED OTHERWISE):
2. EXISTING CEILINGS AND SUPPORT SYSTEMS ARE TO BE REMOVED. PRIOR TO REMOVAL OF SUPPORTS ALL CABLING TO BE SUPPORTED W/ TIES BY STRUCTURE ABOVE @ 4'-0" O.C. MAXIMUM. REMOVE ASSOCIATED CURTAIN TRACKS. ASSUME EXISTING CEILINGS ARE SUSPENDED ACoustICAL TILE.
3. ALL ABANDONED, NONESSENTIAL OR OTHERWISE NOT SPECIFICALLY SHOWN TO BE REUSED, MECHANICAL, PLUMBING OR ELECTRICAL UTILITIES THAT ARE EXPOSED AFTER CEILING OR WALL REMOVAL, ARE TO BE REMOVED AND CAPPED AT POINT OF ORIGIN. CONSULT ARCHITECT IF QUESTIONS ARISE AS TO WHETHER A SERVICE IS TO BE ABANDONED OR IS TO REMAIN.
4. ALL OTHER COMPONENTS OF THE EXISTING CONSTRUCTION, NOT ESSENTIAL TO REMAIN, THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK OR INTERFERE WITH THE INSTALLATION OF NEW FLASH, UNBROKEN PLUMB AND LEVEL WALL, CEILING, AND FLOOR SURFACES, SHALL BE REMOVED.
5. ALL EXISTING UTILITY SERVICE LINES IN RENOVATED AREAS SHALL CONNECT TO NEW SERVICE LINES OR BE REMOVED AND CAPPED OFF AS REQUIRED. REMOVE AND CAP OFF ALL ABANDONED UTILITIES BEHIND FINISH WALL SURFACES OR BELOW FLOOR SLABS WHICH ARE EXPOSED DURING THE WORK.
6. ALL EXPOSED MATERIALS INCLUDED, BUT NOT LIMITED TO, CONCRETE, MASONRY, AND TILE WILL BE CUT IN STRAIGHT LINES PLUMB OR LEVEL USING CONCRETE SAWS, SCORING KNIVES OR OTHER APPROPRIATE TOOLS AS REQUIRED TO GIVE SMOOTH CLEAN EDGES. IRREGULARITIES IN EXPOSED SURFACES OR SURFACES TO BE REFINISHED SHALL BE GROUND SMOOTH OR FILLED FLUSH.
7. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REGULAR DAILY REMOVAL OF ALL WASTE MATERIAL FROM THE PROJECT SITE AND BE RESPONSIBLE FOR KEEPING ALL AREAS CLEAN.
8. SALVAGE: THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND ITEMS TO BE REMOVED. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER WHEN DEMOLITION IS ABOUT TO BEGIN AND CONDUCT A SURVEY WITH THE OWNER TO IDENTIFY THOSE ITEMS TO BE SALVAGED. ITEMS IDENTIFIED BY THE OWNER TO BE SALVAGED AND TURNED OVER TO THE OWNER ARE TO BE REMOVED BY THE GENERAL CONTRACTOR AND DELIVERED TO A MUTUALLY AGREED LOCATION.



- KITCHEN KEY**
1. rolling cart
 2. stainless countertop w/ storage below
 3. hot food warmers
 4. stainless workspace w/ drawers below
 5. sink countertop (used for tray storage)
 6. 3 bay sink
 7. stainless island with hanging rack
 8. 2 bay wash sink
 9. stainless kitchen shelving
 10. stainless worktable w/ storage below
 11. 6 burner gas range with oven
 12. flat top grill
 13. 2 basket fryer

1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



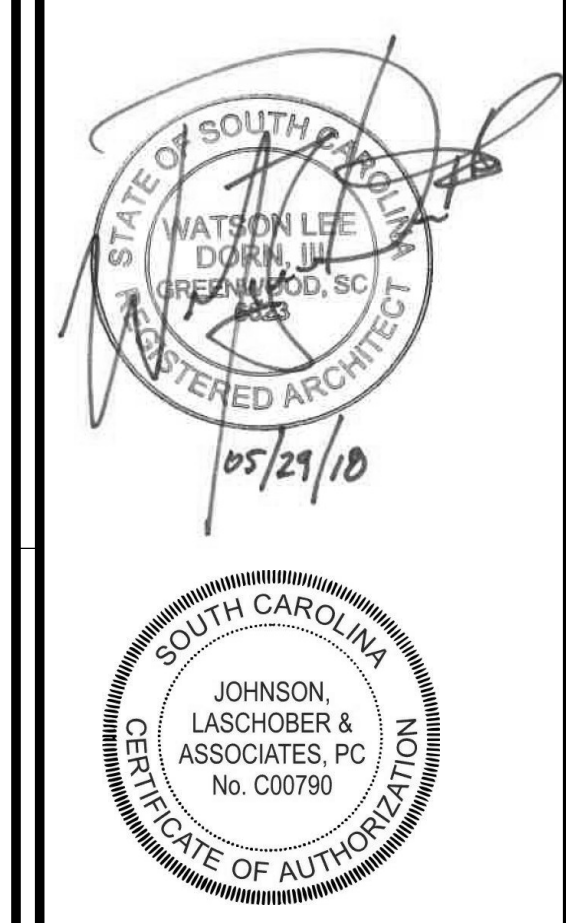
REV	DATE	BY	DESCRIPTION
1	07/02/18	WLD	ALTERNATES REVISION
0	05/28/18	WLD	ISSUED FOR BID

PROJECT NO. 3606.1701
DRAWN BY: CBW
CHECKED BY: WLD
DATE: 10/17/17
SHEET TITLE: DEMOLITION PLAN - DETENTION CENTER

SCALE AS NOTED
DRAWING NO. A-002
REV. 1

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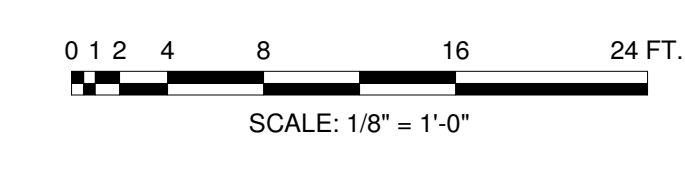
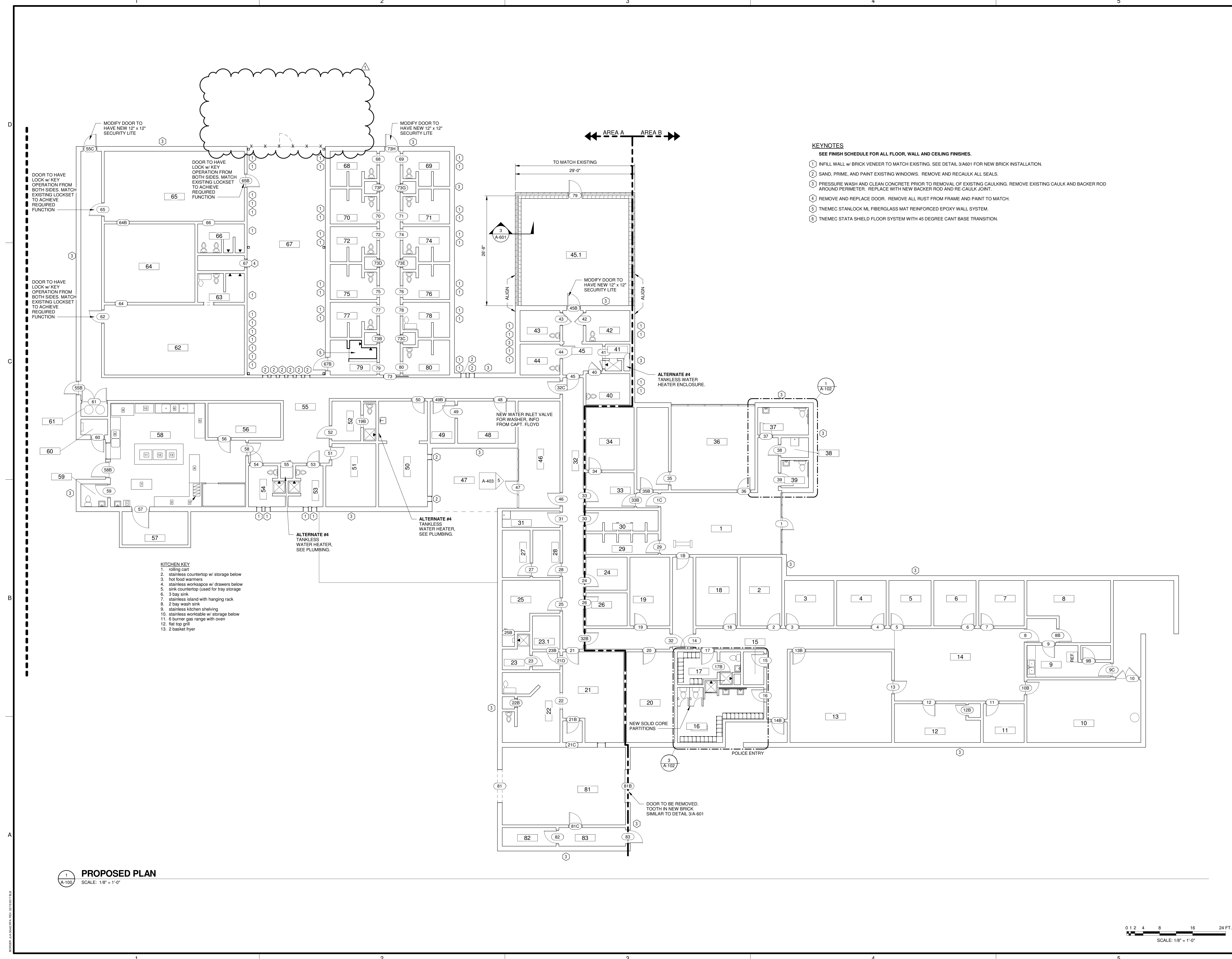
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REV	DATE	BY	DESCRIPTION
1	07/02/18	WLD	ALTERNATES REVISION
0	05/28/18	WLD	ISSUED FOR BID

PROJECT NO. 3606.1701
 DRAWN BY: CBW
 CHECKED BY: WLD
 DATE: 10/17/17
 SHEET TITLE: **PROPOSED PLAN - DETENTION CENTER**

SCALE AS NOTED
 DRAWING NO. **A-100** REV. **1**



FLOORING LEGEND

	EXISTING CONCRETE FLOOR, CLEAN AND SEAL
	CARPET
	CERAMIC TILE
	LVT
	EXISTING TO REMAIN

NOTE
 1. PATTERN INDICATES LOCATION ONLY. ACTUAL PATTERN TO BE DETERMINED BY FLOORING FINISH SELECTION.
 2. SEE KEYNOTE 6 BELOW FOR TNEMEC FLOOR SYSTEM LOCATION.

FINISH LEGEND

ACT: ACOUSTICAL CEILING TILE	RB: RUBBER / VINYL BASE
CONC: CONCRETE	RF: RUBBER FLOOR
CPT: CARPET	RN: RUBBER NOSING
CT: CERAMIC TILE	RT: RUBBER TILE
CTB: CERAMIC TILE BASE	RSTR: RUBBER STAIR TREAD/RISE
CWT: CERAMIC WALL TILE	SC: SEALED CONCRETE (4)
EPX: EPOXY FLOORING	SPF: SPORTS FLOORING
EPC: EPOXY COATING	SS: SOLID SURFACE
EPP: EPOXY PAINT	ST: STAIN
ETR: EXISTING TO REMAIN	STC: STAMPED CONCRETE
EXP: EXPOSED STRUCTURE	SV: SHEET VINYL
FBP: FIBER REINFORCED PANEL	TBD: TO BE DETERMINED
GB: GYPSUM BOARD, ALL GYP.	TR: TRANSITION STRIP
WD: WOOD FLOORING	WC: WALL COVERING
WDF: WOOD FLOORING	WOB: WOOD BASE
WAF: WOOD ATHLETIC FLOORING	VP: VINYL PLANK FLOORING
VP: VINYL PLANK FLOORING	VRB: VENTED RUBBER BASE

NOTES
 1. PRIME AND PAINT ALL EXPOSED STRUCTURE, FRAMING, BRACING, DUCT WORK, CONDUIT.
 2. ALL GYPSUM BOARD WALLS TO MATCH EXISTING.
 3. ALL CONCRETE MASONRY WALLS TO RECEIVE EPOXY PAINT.
 4. SEAL NEW BLOCK WITH DRYLOK EXTREME MASONRY WATER PROOFER, PLATINUM TINT AS MANUFACTURED BY IGL (800) 272-3225.

FINISH SCHEDULE

ROOM NO.	FLOOR FINISH	BASE	WALLS	CEILING FINISH	COMMENTS
1	LVT-1	RB-1	PT	ACT	
1.1	LVT-1	RB-1	PT	ACT	
2	LVT-1	RB-1	PT	ETR	
3	LVT-1	RB-1	PT	ETR	
4	LVT-1	RB-1	PT	ETR	
5	LVT-1	RB-1	PT	ETR	
6	LVT-1	RB-1	PT	ETR	
7	LVT-1	RB-1	PT	ETR	
8	LVT-1	RB-1	PT	ETR	
8.1	LVT-1	RB-1	PT	ETR	
9	LVT-1	RB-1	PT	ETR	
10	ETR	ETR	PT	ETR	
11	SC	RB-1	PT	ETR	
12	CPT-1	RB-1	PT	ETR	
13	CPT-1	RB-1	PT	ACT	NEW CEILING TILES INSTALLED IN EXISTING GRID
14	LVT-1	RB-1	PT	ETR	
15	LVT-1	RB-1	PT	ETR	
16	LVT-1	RB-1	PT	ETR	
17	LVT-1	RB-1	PT	ETR	
18	LVT-1	RB-1	PT	ETR	
19	CPT-1	RB-1	PT	ETR	
20	CPT-1	RB-1	PT	ETR	
21	ETR / SC	EPP	EPP	ETR	
22	ETR / SC	EPP	EPP	ETR	
23	ETR / SC	EPP	EPP	ETR	
23.1	ETR / SC	EPP	EPP	ETR	
24	ETR / SC	EPP	EPP	ETR	
25	CPT-1	RB-1	PT	ETR	
26	ETR / SC	EPP	EPP	ETR	
27	LVT-1	RB-1	PT	ETR	
28	CPT-1	RB-1	PT	ETR	
29	ETR / SC	EPP	EPP	ETR	
30	ETR / SC	EPP	EPP	ETR	
31	ETR / SC	EPP	EPP	ACT	
32	ETR / SC	EPP	EPP	ACT	
32.1	LVT-1	RB-1	PT	ACT	
33	ETR / SC	EPP	EPP	ETR	
34	ETR / SC	EPP	EPP	ETR	
35	LVT-1	RB-1	PT	ETR	
36	CPT-1	RB-1	PT	ETR	
37	LVT-1	RB-1	PT	ACT	
38	LVT-1	RB-1	PT	ACT	
39	LVT-1	RB-1	PT	ACT	
40	ETR / SC	EPP	EPP	ETR	
41	ETR / SC	EPP	EPP	ETR	
42	ETR / SC	EPP	EPP	ETR	
43	ETR / SC	EPP	EPP	ETR	
44	ETR / SC	EPP	EPP	ETR	
45	ETR / SC	EPP	EPP	ETR	
45.1	-	-	SC	PT-4	SEAL NEW CMU BLOCK WALLS; PAINT SECURITY ENCLOSURE
46	ETR / SC	EPP	EPP	ACT	
47	-	-	-	-	

FINISH SCHEDULE

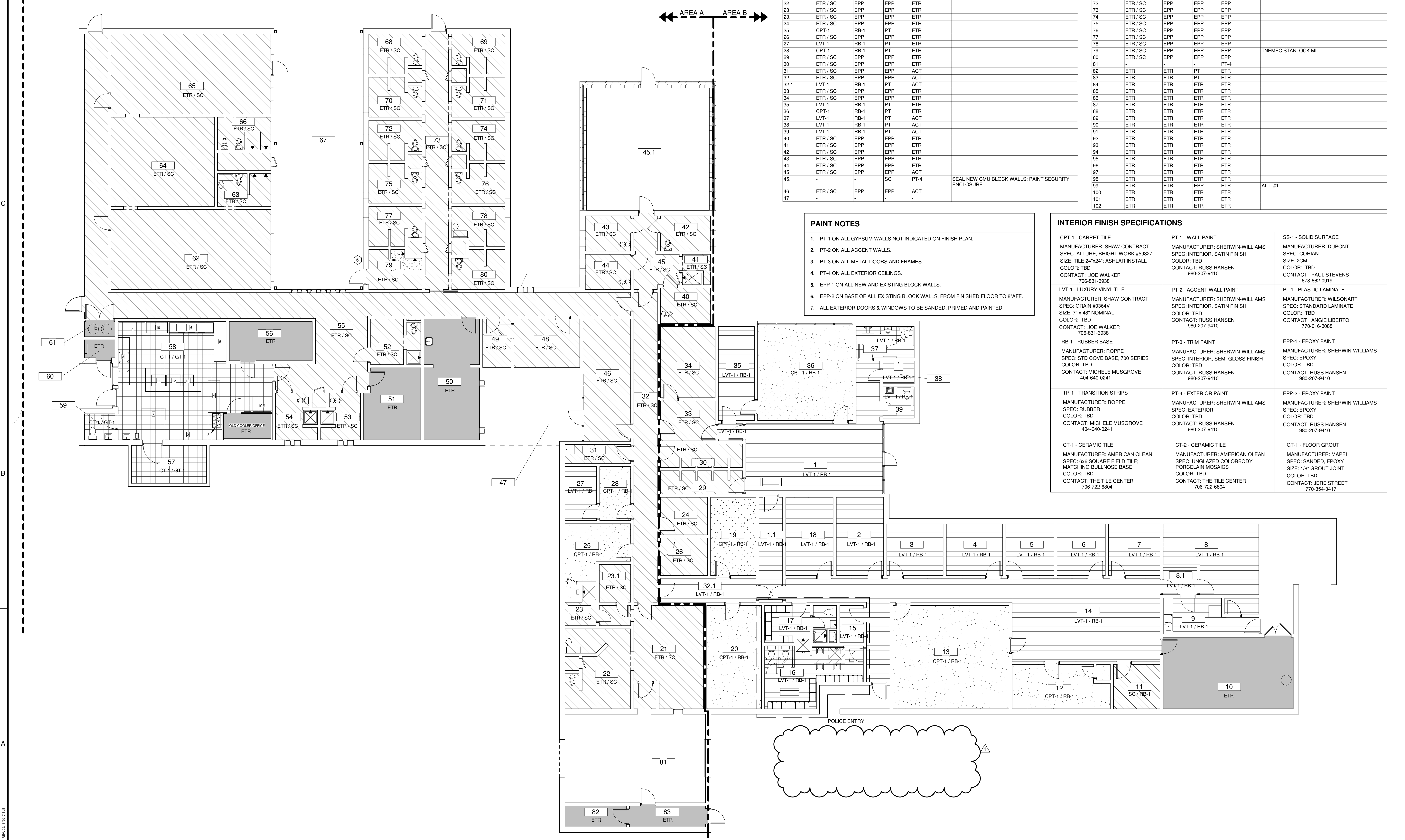
ROOM NO.	FLOOR FINISH	BASE	WALLS	CEILING FINISH	COMMENTS
48	ETR / SC	EPP	EPP	GYP / PT	
49	ETR / SC	EPP	EPP	ETR	
50	ETR	ETR	PT	ETR	
51	ETR	ETR	PT	ETR	
52	ETR / SC	EPP	EPP	ETR	
53	ETR / SC	EPP	EPP	EXP / PT	
54	ETR / SC	EPP	EPP	EXP / PT	
55	ETR / SC	EPP	EPP	ACT	
56	ETR	ETR	PT	ETR	
57	CT-1	CT-1	-	-	
58	CT-1 / ETR	CT-1 / ETR	EPP / PT	EXP / PT	SEE FINISH PLAN FOR ETR LOCATION
59	CT-1	CT-1	EPP	EXP / PT	
60	ETR	ETR	PT	ETR	
61	ETR	ETR	PT	EXP / PT	
62	ETR / SC	EPP	EPP	ETR	
63	ETR / SC	EPP	EPP	ETR	
64	ETR / SC	EPP	EPP	ETR	
65	ETR / SC	EPP	EPP	ETR	
66	ETR / SC	EPP	EPP	ETR	
67	-	-	PT-4	-	PAINT SECURITY ENCLOSURE
68	ETR / SC	EPP	EPP	EPP	
69	ETR / SC	EPP	EPP	EPP	
70	ETR / SC	EPP	EPP	EPP	
71	ETR / SC	EPP	EPP	EPP	
72	ETR / SC	EPP	EPP	EPP	
73	ETR / SC	EPP	EPP	EPP	
74	ETR / SC	EPP	EPP	EPP	
75	ETR / SC	EPP	EPP	EPP	
76	ETR / SC	EPP	EPP	EPP	
77	ETR / SC	EPP	EPP	EPP	
78	ETR / SC	EPP	EPP	EPP	
79	ETR / SC	EPP	EPP	EPP	TNEMEC STANLOCK ML
80	ETR / SC	EPP	EPP	ETR	
81	-	-	PT-4	-	
82	ETR	ETR	PT	ETR	
83	ETR	ETR	PT	ETR	
84	ETR	ETR	ETR	ETR	
85	ETR	ETR	ETR	ETR	
86	ETR	ETR	ETR	ETR	
87	ETR	ETR	ETR	ETR	
88	ETR	ETR	ETR	ETR	
89	ETR	ETR	ETR	ETR	
90	ETR	ETR	ETR	ETR	
91	ETR	ETR	ETR	ETR	
92	ETR	ETR	ETR	ETR	
93	ETR	ETR	ETR	ETR	
94	ETR	ETR	ETR	ETR	
95	ETR	ETR	ETR	ETR	
96	ETR	ETR	ETR	ETR	
97	ETR	ETR	ETR	ETR	
98	ETR	ETR	ETR	ETR	
99	ETR	ETR	ETR	ETR	
100	ETR	ETR	ETR	ETR	ALT. #1
101	ETR	ETR	ETR	ETR	
102	ETR	ETR	ETR	ETR	

PAINT NOTES

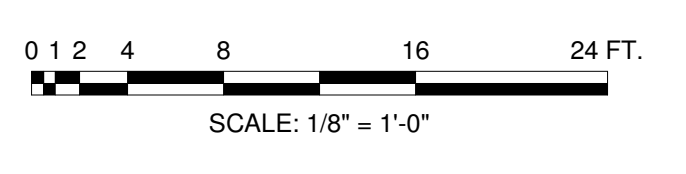
- PT-1 ON ALL GYPSUM WALLS NOT INDICATED ON FINISH PLAN.
- PT-2 ON ALL ACCENT WALLS.
- PT-3 ON ALL METAL DOORS AND FRAMES.
- PT-4 ON ALL EXTERIOR CEILING.
- EPP-1 ON ALL NEW AND EXISTING BLOCK WALLS.
- EPP-2 ON BASE OF ALL EXISTING BLOCK WALLS, FROM FINISHED FLOOR TO 8' AFF.
- ALL EXTERIOR DOORS & WINDOWS TO BE SANDED, PRIMED AND PAINTED.

INTERIOR FINISH SPECIFICATIONS

CPT-1 - CARPET TILE MANUFACTURER: SHAW CONTRACT SPEC: ALLURE, BRIGHT WORK #59327 SIZE: TILE 24"x24"; ASHLAR INSTALL COLOR: TBD CONTACT: JOE WALKER 706-831-3938	PT-1 - WALL PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: INTERIOR, SATIN FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	SS-1 - SOLID SURFACE MANUFACTURER: DUPONT SPEC: CORIAN SIZE: 2CM COLOR: TBD CONTACT: PAUL STEVENS 678-662-0919
LVT-1 - LUXURY VINYL TILE MANUFACTURER: SHAW CONTRACT SPEC: GRAM #0364V SIZE: 7' x 48" NOMINAL COLOR: TBD CONTACT: JOE WALKER 706-831-3938	PT-2 - ACCENT WALL PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: INTERIOR, SATIN FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	PL-1 - PLASTIC LAMINATE MANUFACTURER: WILSONART SPEC: STANDARD LAMINATE COLOR: TBD CONTACT: ANGIE LIBERTO 770-616-3088
RB-1 - RUBBER BASE MANUFACTURER: ROPPE SPEC: STD COVE BASE, 700 SERIES COLOR: TBD CONTACT: MICHELE MUSGROVE 404-640-0241	PT-3 - TRIM PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: INTERIOR, SEMI GLOSS FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	EPP-1 - EPOXY PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: EPOXY COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410
TR-1 - TRANSITION STRIPS MANUFACTURER: ROPPE SPEC: RUBBER COLOR: TBD CONTACT: MICHELE MUSGROVE 404-640-0241	PT-4 - EXTERIOR PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: EXTERIOR COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	EPP-2 - EPOXY PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: EPOXY COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410
CT-1 - CERAMIC TILE MANUFACTURER: AMERICAN OLEAN SPEC: 6x6 SQUARE FIELD TILE; MATCHING BULLNOSE BASE COLOR: TBD CONTACT: THE TILE CENTER 706-722-6804	CT-2 - CERAMIC TILE MANUFACTURER: AMERICAN OLEAN SPEC: UNGLAZED COLORBODY PORCELAIN MOSAICS COLOR: TBD CONTACT: THE TILE CENTER 706-722-6804	GT-1 - FLOOR GROUT MANUFACTURER: MAPEI SPEC: SANDED, EPOXY SIZE: 1/8" GROUT JOINT COLOR: TBD CONTACT: JERE STREET 770-354-3417



1
A-602
PROPOSED PLAN
 SCALE: 1/8" = 1'-0"



JOHNSON, LASCHÖBER & ASSOCIATES, P.C.
 AUGUSTA, GA • MT PLEASANT, SC
 TEL (706) 724-5756 • TEL (843) 619-4656
 FAX (706) 724-3935
 WWW.THEJLAGROUP.COM

CLIENT: NEWBERRY COUNTY, NEWBERRY, SOUTH CAROLINA
 PROJECT NAME: **NEWBERRY COUNTY DETENTION CENTER RENOVATIONS**
 PROJECT LOCATION: 3239 LOUIS RICH ROAD, NEWBERRY, SC 29108

05/21/10

REV	DATE	BY	DESCRIPTION
1	07/27/18	WLD	ALTERNATES REVISION
0	05/28/18	WLD	ISSUED FOR BID

PROJECT NO: 3606.1701
 DRAWN BY: JPT
 CHECKED BY: WLD
 DATE: 10/17/17
 SHEET TITLE:
FINISH PLAN, SCHEDULE, AND SPECIFICATIONS

SCALE AS NOTED
 DRAWING NO. **A-602** REV. **1**